



Comhairle Contae Chill Mhantáin
Wicklow County Council

Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
Planning, Economic and Rural Development

Áras An Chontae / County Buildings
Cill Mhantáin / Wicklow
Guthán / Tel: (0404) 20148
Faics / Fax: (0404) 69462
Rphost / Email: plandev@wicklowcoco
Suíomh / Website: www.wicklow.ie

Liam Teeling


4th April 2024

RE: Declaration in accordance with Section 5 of the Planning & Development Acts 2000 (As Amended) - EX16/2024

I enclose herewith Declaration in accordance with Article 5 (2) (A) of the Planning & Development Act 2000.

Where a Declaration is used under this Section any person issued with a Declaration under subsection (2) (a) may, on payment to An Bord Pleanála of such fee as may be prescribed, refer a declaration for review by the Board within four weeks of the date of the issuing of the declaration by the Local Authority.

Is mise, le meas,


ADMINISTRATIVE OFFICER
PLANNING ECONOMIC & RURAL DEVELOPMENT





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DECLARATION IN ACCORDANCE WITH ARTICLE 5 (2) (A) OF THE PLANNING & DEVELOPMENT ACT 2000 AS AMENDED

Applicant: Liam Teeling

Location: 12 Saint Mary's Road, Arklow, Co. Wicklow

CHIEF EXECUTIVE ORDER NO. CE/PERD/437/2024

A question has arisen as to whether "the replacement of the roof tiles with a Brazilian Santos Graphite natural stone and associated works to the repair the roof on a protected structure" at 12 Saint Mary's Road, Arklow, Co. Wicklow is or is not exempted development.

Having regard to:

- The details submitted with this section 5 application (EX74/2023 and the further information submitted on 28th March 2024;
- Sections 2 and 3 of the Planning and Development Act 2000 (as amended);
- Section 4(1)(h) of the Planning and Development Act 2000(as amended); and
- Section 57(1) of the Planning and Development Act 2000(as amended).

Main Reasons with respect to Section 5 Declaration:

- 1) .The replacement of the roof tiles with a Brazilian Santos Graphite natural slate and associated works to repair the roof, will not materially affect the character of the structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest. The proposed development would therefore come within the scope of Section 4(1)(h) and Section 57 (1) of the Planning and Development Act 2000(as amended)

The Planning Authority considers that "the replacement of the roof tiles with a Brazilian Santos Graphite natural stone and associated works to the repair the roof on a protected structure" at 12 Saint Mary's Road, Arklow, Co. Wicklow **is development and is exempted development**

Signed:


ADMINISTRATIVE OFFICER
PLANNING ECONOMIC & RURAL DEVELOPMENT

Dated  April 2024



WICKLOW COUNTY COUNCIL
PLANNING & DEVELOPMENT ACTS 2000 (As Amended)
SECTION 5

CHIEF EXECUTIVE ORDER NO. CE/PERD/437/2024

Reference Number: EX74/2023

Name of Applicant: Liam Teeling

Nature of Application: Section 5 Referral as to whether or not “the replacement of the roof tiles with a Brazilian Santos Graphite natural stone and associated works to the repair the roof on a protected structure” is or is not development and is or is not exempted development.

Location of Subject Site: 12 Saint Mary’s Road, Arklow, Co. Wicklow

Report from Keara Kennedy, EP & Edel Bermingham SEP

With respect to the query under section 5 of the Planning & Development Act 2000 as to whether “the replacement of the roof tiles with a Brazilian Santos Graphite natural stone and associated works to the repair the roof on a protected structure” at 12 Saint Mary’s Road, Arklow, Co. Wicklow is or is not exempted development within the meaning of the Planning & Development Acts 2000 (as amended).

Having regard to:

- The details submitted with this section 5 application (EX74/2023 and the further information submitted on 28th March 2024;
- Sections 2 and 3 of the Planning and Development Act 2000 (as amended);
- Section 4(1)(h) of the Planning and Development Act 2000(as amended); and
- Section 57(1) of the Planning and Development Act 2000(as amended).

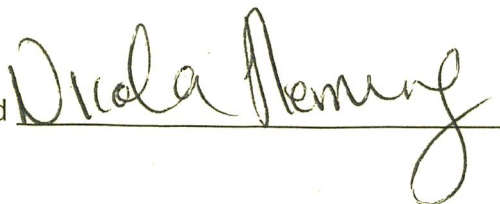
Main Reason with respect to Section 5 Declaration:

1. The replacement of the roof tiles with a Brazilian Santos Graphite natural slate and associated works to repair the roof, will not materially affect the character of the structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest. The proposed development would therefore come within the scope of Section 4(1)(h) and Section 57 (1) of the Planning and Development Act 2000(as amended)

Recommendation:

The Planning Authority considers that “the replacement of the roof tiles with a Brazilian Santos Graphite natural stone and associated works to the repair the roof on a protected structure” at 12 Saint Mary’s Road, Arklow, Co. Wicklow is development and is exempted development as recommended in the report by the SEP.

Signed



Dated 4th day of April 2024



WICKLOW COUNTY COUNCIL
Planning Department

Section 5 – Application for declaration of Exemption Certificate

Ref:	EX 74/2023
Name:	Liam Teeling
Development:	Replacement of roof tiles
Location:	12 Saint Mary's Road, Arklow, Co. Wicklow.

See previous report dated the 10th November 2023; a request for the submission of further information issued on the 14th November 2023, and a response was received on the 28th March 2024.

Further Information was sought as follows:

In relation to your application for a declaration in respect of a Section 5 for the above proposal the following further information is required to fully assess the application: -

1. A Method Statement (MS) giving full details of works proposed and to demonstrate clearly whether they align with established conservation best practice.
2. The Method Statement should give the rationale for the selection of Brazilian grey/green slate and confirm the approach to be taken for the replacement, salvage and reuse of existing slates and other elements of the historic fabric.

Response:

The applicant responded as follows:

As rationale for the proposed work, the applicant has stated:

The roof of the building is leaking in several places in the school hall. The timber and metal work on the ceiling inside are in excellent condition and will be conserved as they are in their original form. In order to achieve this, it is imperative that the roof is replaced immediately to prevent damage to the salvageable features and materials of the ceiling inside. The roof is in bad repair externally, the slates have been confirmed to contain asbestos and cannot be salvaged. It is proposed to replace and upgrade the roof from the outside.

A full scope of work has been provided as follows:

1. *Removal and disposal of asbestos roof slates*
2. *Stripping of timber roof laits and underlying bitumen felt*
3. *Cleaning, treatment and repair of all original roof timbers.*
4. *Installation of breathable insulations and breathable roofing membrane in line with best conservation practice*
5. *Treated timber roofing batons will be installed alongside the original timber roof structure to improve the integrity of the roof*

Justification for the slate selection is as follows:

The roof will be reslated with 60cm x 30cm x 9mm thick Brazilian santos graphite natural slate. Selection of the slate as advised by the conservation architect was based on quality, appearance, thickness, the natural appearance of the finished look. The original terracotta ridge tiles will be removed and retained for reuse along with the original Victorian roof finials.

Historic fabrics to be replaced / salvaged / reused:

- Materials to be removed and disposed of; asbestos slates
- Historic fabric to be retained; original timber structure, Victorian ridge tiles and finials.

ASSESSMENT

The applicant has provided a method statement in relation to the works involved in the replacement of the roof tiles and has outlined that the roof slates will now be Brazilian Santos graphite natural slate. From review of the images of the property over the years, this is considered to be in keeping with the character of the Protected Structure. It is also noted that the applicant has engaged with a conservation architect regarding the selection of the roof tile. The applicant has also outlined that the original roof timbers will be cleaned, treated and repaired. The Victorian ridge tiles and finials will also be retained.

From the further information received, is considered that the proposed works to the roof will not materially alter the character of the Protected Structure and the works are therefore considered to be exempted development, having regard Section 4(1)(h) and section 57(1) of the Planning and Development Act 2000(as amended).

RECOMMENDATION

With respect to the query under Section 5 of the Planning and Development Act 2000, as to whether

The replacement of the roof tiles with a Brazilian Santos Graphite natural slate and associated works to repair the roof on a Protected Structure is or is not development; and is or is not exempted development

The Planning Authority considers that:

The replacement of the roof tiles is development but it is exempted development.

Main Considerations with respect to Section 5 Declaration:

- The details submitted with this section 5 application (EX74/2023) ~~on the 23rd October 2024~~ and 28th March 2024;
- Sections 2 and 3 of the Planning and Development Act 2000 (as amended);
- Section 4(1)(h) of the Planning and Development Act 2000(as amended); and
- Section 57(1) of the Planning and Development Act 2000(as amended).

the further information submitted on the

Main Reasons with respect to Section 5 Declaration:

The replacement of the roof tiles with a Brazilian Santos Graphite natural slate and associated works to repair the roof, will not materially affect the character of the structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

The proposed development would therefore come within the scope of Section 4(1)(h) and Section 57 (1) of the Planning and Development Act 2000(as amended)

Keara Kennedy

Keara Kennedy
Executive Planner
04/04/2024

Paul J. Kelly
4/4/2024

*Issue declaration is recommended.
04/04/2024*

MEMORANDUM

WICKLOW COUNTY COUNCIL

**TO: Keara Kennedy
Executive Planner**

**FROM: Nicola Fleming
Staff Officer**

**RE:- Application for Certificate of Exemption under Section 5 of the
Planning and Development Acts 2000 (as amended).
EX74/2023 – Liam Teeling**

I enclose herewith application for Section 5 Declaration received 23rd October 2023 and Further Information received on 28/03/2024.

The due date on this declaration is 10th April 2024.



**Staff Officer
Planning Development & Environment**

Liam Teeling

RECEIVED 28 MAR 2024

Method Statement for the replacement of the roof at 12 St. Marys Rd, Arklow, Co. Wicklow

Completed by: Liam Teeling

Name of contractor: Teeling Contracting Ltd

Start Date: ASAP Completion date: 31.01.24

Location: 12 St Marys Rd, Arklow, Co. Wicklow

Rational for the proposed work: the roof of the building is leaking in several places in the school hall. The timber and metal work on the ceiling inside are in excellent condition and will be conserved as they are in their original form. In order to achieve this, it is imperative that the roof is replaced immediately to prevent damage to the salvageable features and materials of the ceiling inside. The roof is in bad repair externally, the slates have been confirmed to contain asbestos and cannot be salvaged. It is proposed to replace and upgrade the roof from the outside.

Scope of work:

- 1) Removal and safe disposal of asbestos roof slates.
- 2) Stripping of timber roof laits and underlying bitumen felt.
- 3) Cleaning, treatment and repair of all original roof timbers. Original timber roof structure will not be removed.
- 4) Installation of breathable insulation and breathable roofing membrane in line with best conservation practise.
- 5) Treated timber roofing batons will be installed alongside the original timber roof structure to improve the overall integrity of the roof thus conserving and preserving the original features that are in good condition while future proofing the roof in its new form in line with best conservation practice.

Slate selection: The roof will be re-slatted with a 60x30cm x 9mm thick Brazilian Santos graphite natural slate. Selection of the slate as advised by the conservation architect was based on quality, appearance, thickness, the natural appearance of the finished look. The original terracotta ridge tiles will be removed and retained for re use along with the original decorative Victorian roof finials.

Historic fabrics to be replaced/salvaged/reused:

Materials to be removed and disposed of; asbestos slates.

Historic fabric to be retained; original timber structure, Victorian ridge tiles and finials.



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Wicklow County Council

Forbairt Pleanála agus Comhshaol
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Suíomh / Website: www.wicklow.ie

14/11/2023

Liam Teeling

RE: EX 74/2023

Roof replacement on Protected Structure at 12 Saint Mary's Road, Arklow, Co. Wicklow, Y14 HV57

A Chara

In relation to your application for a declaration in respect of Section 5 for the above proposal the following Further Information is required to fully assess the application: -

- (i) A Method Statement (MA) giving full details of works proposed and to demonstrate clearly whether they align with established conservation best practice.
- (ii) The Method Statement should give rationale for the selection of Brazilian grey/green slate and confirm the approach to be taken for the replacement, salvage and reuse of existing slates and other elements of the historic fabric.

Mise, le meas

NICOLA FLEMING
STAFF OFFICER

PLANNING DEVELOPMENT AND ENVIRONMENT





WICKLOW COUNTY COUNCIL
Planning Department

Section 5 – Application for declaration of Exemption Certificate

Ref:	EX 74/2023
Name:	Liam Teeling
Development:	Roof replacement on Protected Structure
Location:	12 Saint Marys Road, Arklow, Co. Wicklow Y14 HV57

Application Site

The site comprises an existing detached 2 storey dwelling, which fronts onto St. Mary's Road. It is noted on the building that it was constructed in 1878. The building is a Protected Structure under the Wicklow County Development Plan 2022-2028 (Ref A20).

The record states the building was the former Arklow school and describes the building as a:

Detached four-bay two-storey former school, built 1878, and now in use as a house. The building is finished in roughcast render with a projecting twostorey gabled bay to the south side. The front door is now covered with a glazed porch addition which abuts a flat-roofed addition

Planning History: None found

Enforcement: None found in relation to the application site.

Question

The applicant has applied to see whether or not the following is or is not development; and is or is not exempted development:

- Roof replacement on a protected structure

Legislative Context:

Planning and Development Act 2000 (as amended)

Section 2:

"protected structure" means—

(a) a structure, or

(b) a specified part of a structure,

which is included in a record of protected structures, and, where that record so indicates, includes any specified feature which is within the attendant grounds of the structure and which would not otherwise be included in this definition;

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3:

- (1) In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4:

4.—(1) The following shall be exempted developments for the purposes of this Act—

(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Part IV- 57 (1)

Notwithstanding section 4(1)(a), (h), (i), F370[(ia)] (j), (k), or (l) and any regulations made under section 4(2),] the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—

- (a) the structure, or
- (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Submission:

The applicant is seeking to replace the roof with new slates with breathable felt and timber battens due to asbestos in the existing slates.

It is proposed to remove all felt and timber battens, treat and replace any timber joists, ridge boards and barge boards. It is proposed to remove the decorative ridge tiles and retain for reuse, insulate between the roof joists, cover with breathable felt and retain the copper valleys.

New 9mm santos blue/grey Brazilian slates are proposed to be fixed with copper nails and hooks. There are 4no. ridge tiles with finials and only one remains intact. The applicant is researching to get new ones moulded to match existing.

Assessment:

This Section 5 application seeks a declaration as to whether a roof replacement on a protected structure (A20-Arklow School (former), now known as 12 Saint Mary’s Road) is or is not exempted development.

Located on this site is the two storey, four bay gable ended house, formerly Arklow school, constructed in 1878.

There are two questions to consider, the first is in relation to whether or not development is taking place, the second question is whether or not the development is exempted development?

In relation to the first the question,

“structure” means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so defined, and—

“protected structure” means—

- (a) a structure, or
- (b) a specified part of a structure,

which is included in a record of protected structures, and, where that record so indicates, includes any specified feature which is within the attendant grounds of the structure and which would not otherwise be included in this definition

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Repair to a structure/ protected structure is taking place and therefore is considered to be development.

The second assessment is to determine whether or not the works would be exempted development under the Planning and Development Act 2000 (as amended) or it's associated Regulations.

The development is detailed as the repair and replacement of the roof with new slates, being works which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures therefore the section of the Act that is relevant is Section 4 (1) (h).

As the structure is a register protected structure, Part IV- 57 (1) would also apply in this instance which sets out that;

Notwithstanding section 4(1)(a), (h), (i), F370[(ia)] (j), (k), or (l) and any regulations made under section 4(2),] the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—

- (a) the structure, or
- (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

In relation to the roof, it is stated in the NIAH description that '*the pitched roof is finished with artificial slate with serrated clay ridge tiles*'.

The works involve the replacement of the roof tiles with new slates due to asbestos and to remove all felt and timber battens, treat and replace any timber joists, ridge boards and barge boards. It is proposed insulate between the roof joists, cover with breathable felt and retain the copper valleys. New 9mm santos blue/grey Brazilian slates are proposed to be fixed with copper nails and hooks. There are 4no. ridge tiles with finials and only one remains intact. The applicant is researching to get new ones moulded to match existing.

There is insufficient information provided in the application to determine whether the proposed works will materially impact upon the character of the protected structure (as per s. 57 whether they would or would not require planning permission).

I recommend that the applicant be advised to submit a method statement (MS) giving full details of works proposed and to demonstrate clearly whether they align with established conservation best practice. The MS should give the rationale for the selection of Brazilian grey/green slate and confirm the approach to be taken for the replacement, salvage and reuse of existing slates and other elements of the historic fabric.

Recommendation: ~~SAK~~ FI

With respect to the query under Section 5 of the Planning and Development Act 2000 (as amended), as to whether:

Works to the roof that comprises the following:

1. The replacement of the roof tiles with new slates with breathable felt and timber battens;
2. The treatment and replacement of any timber joists, ridge boards and barge boards;
3. The removal of decorative ridge tiles and their retention for reuse;
4. The insulation between the roof joists, covering with breathable felt and retention of the copper valleys;
5. The installation of new 9mm santos blue/grey Brazilian slates to be fixed with copper nails and hooks; and
6. The moulding of 3no. new decorative ridge tiles with finials to match existing

of the protected structure 12 Saint Mary's Road, Arklow, Co. Wicklow is or is not exempt development.

The Planning Authority considers that:

The works as detailed in the submission at 12 Saint Mary's Road, Arklow, Co. Wicklow is development and it is considered that there is insufficient information provided in the application to determine whether the proposed works will materially impact upon the character of the protected structure (as per s. 57 whether they would or would not require planning permission).

- ① In order to fully assess your Section 5 request for the proposed works at 12 Saint Mary's Road, Arklow, Co. Wicklow, the Planning Authority requires the following information to be provided:
 - ① The MS should give the rationale for the selection of Brazilian grey/green slate and confirm the approach to be taken for the replacement, salvage and reuse of existing slates and other elements of the historic fabric.

In order to fully assess your Section 5 request for the proposed works at 12 Saint Mary's Road, Arklow, Co. Wicklow, the Planning Authority requires the following information to be provided:

Keara Kennedy

Keara Kennedy
Executive Planner
10/11/2023

*Panel F1 to issue as per ①
S.M. 807 11/11/23*



COMHAIRLE CONTAE CHILL MhANTÁIN
Wicklow County Council

Forbairt Pleanála agus Comhshaol
Planning Development and Environment

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MEMORANDUM

WICKLOW COUNTY COUNCIL

TO: Keara Kennedy
Executive Planner

FROM: Nicola Fleming
Staff Officer

**RE:- Application for Certificate of Exemption under Section 5 of the
Planning and Development Acts 2000 (as amended).
EX74/2023 – Liam Teeling – 12 Saint Marys Road, Arklow, Co.
Wicklow**

I enclose herewith application for Section 5 Declaration received 23rd October 2023.

The due date on this declaration is 20th November 2023.

Staff Officer
Planning Development & Environment





Comhairle Contae Chill Mhantáin
Wicklow County Council

Forbairt Pleanála agus Comhshaol
Planning Development and Environment

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23rd October 2023

Liam Teeling

RE: Application for Certificate of Exemption under Section 5 of the Planning and Development Acts 2000 (as amended). – EX74/2023

A Chara

I wish to acknowledge receipt on 23/10/2023 details supplied by you in respect of the above Section 5 application. A decision is due in respect of this application by 20/11/2023

Mise, le meas



NICOLA FLEMING
STAFF OFFICER
PLANNING DEVELOPMENT AND ENVIRONMENT

Tá an doiciméad seo ar fáil i bhformáidí eile ar iarratas
This document is available in alternate formats on request

Ba chóir gach comhfhreagras a sheoladh chuig an Stúirthóir Seirbhísi, Forbairt Pleanála agus Comhshaol.
All correspondence should be addressed to the Director of Services, Planning Development & Environment.



Wicklow County Council
County Buildings
Wicklow
0404-20100

23/10/2023 11 42 26

Receipt No L110/320507
***** REPRINT *****

Mr Liam Teeling
12 St Marys Road
Arklow
Co Wicklow

EXEMPTION CERTIFICATE.S	80 00
GOODS	80 00
VAT Exempt/Non vatable	

Total 80 00 EUR

Tendered
Credit Card 80 00

Change 0 00

Issued By Lorraine Byrne
From Customer Service Hub
Vat reg No 0015233H



Wicklow County Council
County Buildings
Wicklow
Co Wicklow
Telephone 0404 20148
Fax 0404 69462

Office Use Only

Date Received 23/10/23
Fee Received _____

**APPLICATION FORM FOR A
DECLARATION IN ACCORDANCE WITH SECTION 5 OF THE PLANNING &
DEVELOPMENT ACTS 2000 (AS AMENDED) AS TO WHAT IS OR IS NOT
DEVELOPMENT OR IS OR IS NOT EXEMPTED DEVELOPMENT**

1. Applicant Details

(a) Name of applicant: Liam Telling
Address of applicant: _____

Note Phone number and email to be filled in on separate page.

2. Agents Details (Where Applicable)

(b) Name of Agent (where applicable) _____
Address of Agent : _____

Note Phone number and email to be filled in on separate page.

3. Declaration Details

i. Location of Development subject of Declaration 12 SAINT WALKERS
ROAD ARNOLD CO Wicklow
Y14 HV57

ii. Are you the owner and/or occupier of these lands at the location under i. above ?

~~Yes~~
CT

iii. If 'No' to ii above, please supply the Name and Address of the Owner, and or occupier _____

iv. Section 5 of the Planning and Development Act provides that : If any question arises as to what, in any particular case, is or is not development and is or is not exempted development, within the meaning of this act, any person may, an payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question. You should therefore set out the query for which you seek the Section 5 Declaration ROOF Replacement
New SLATES, Breathable Felt
Timber battens

(Additional details may be submitted by way of separate submission.
Full description of Proposed works ATTACHED)

v. Indication of the Sections of the Planning and Development Act or Planning Regulations you consider relevant to the Declaration _____

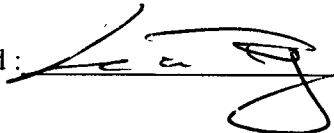
PART IV of the Planning & Development
Act. In Summary only works which would
materially affect the character or special
interest / need planning Permission

Additional details may be submitted by way of separate submission. _____

vi. Does the Declaration relate to a Protected Structure or is it within the curtilage of a Protected Structure (or proposed protected structure) ? yes it is a protected structure

vii. List of Plans, Drawings submitted with this Declaration Application _____

viii. Fee of € 80 Attached ? _____

Signed :  Dated : 23/10/23

Additional Notes :

As a guide the minimum information requirements for the most common types of referrals under Section 5 are listed below :

A. Extension to dwelling - Class 1 Part 1 of Schedule 2

- Site Location Map
- Floor area of structure in question - whether proposed or existing.
- Floor area of all relevant structures e.g. previous extensions.
- Floor plans and elevations of relevant structures.
- Site Layout Plan showing distance to boundaries, rear garden area, adjoining dwellings/structures etc.

B. Land Reclamation -

The provisions of Article 8 of the Planning and Development Regulations 2001 (as amended) now applies to land reclamation, other than works to wetlands which are still governed by Schedule 2, Part 3, Class 11. Note in addition to confirmation of exemption status under the Planning and Development Act 2000(as amended) there is a certification process with respect to land reclamation works as set out under the

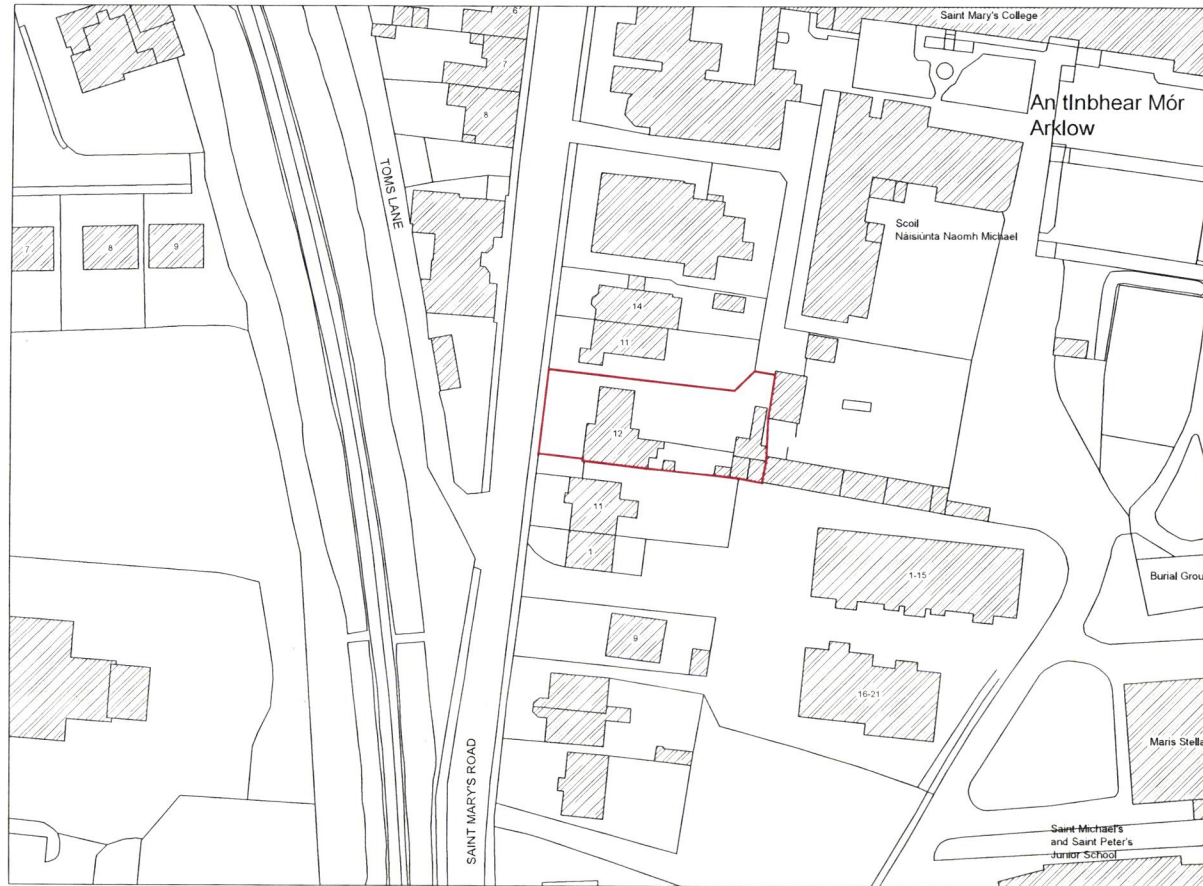
The proposed works are to Remove the Existing Roof slates which are Asbestos, Remove all felt and Timber battens, Treat and replace any Timber Joists, Ridge boards and barge boards.

Remove decorative Ridge Tiles and Retain for Reuse, Insulate between the roof Joists, Cover with breathable felt, Retain the Copper Valleys New 9mm Santos blue/grey BRAZILIAN SLATES fixed with Copper nails and hooks.

There is 4 Ridge Tiles with Finials which only One Remains intact and I am Researching on getting New Ones moulded to match.



12 ST. MARY'S ROAD



12 ST. MARY'S ROAD,
ARKLOW, CO. WICKLOW
Y14 HV57

ITM CENTRE PT COORDS
X,Y= 724161.94, 673276.91
SHEET NUMBERS; 4428-16
4428-11

OS MAP

Notes

1. Copyright Reserved
2. Work to figured dimensions only. Do not scale drawing.
3. The contractor is responsible for checking all levels and dimensions on site and shall refer all discrepancies to the Designer
4. Where appropriate, for details of r.c. structure, or mechanical and electrical details, see Engineers drawings
5. Proprietary items shall be fixed in strict accordance with manufacturers instructions.
6. Sizes of proprietary items shall be checked with manufacturer.
7. The contractor shall be responsible for the coordination of structure, finishes and services.

Project
**RENOVATIONS & EXTENSIONS TO HOUSE AT
12 ST. MARY'S ROAD, ARKLOW, CO. WICKLOW**

Drawing Title
OS SITE LOCATION MAP

Drawing No
2207-01-000

Scale 1:1000@A3 Rev 0 Drawn AB/RC Date NOV 2022

maremoto[™]
architecture and interiors

Olympus, Drumcondra, Ireland
tel. (01) 836 9083

